

Section '3' - Applications recommended for PERMISSION, APPROVAL or CONSENT

Application No : 13/04217/FULL1

Ward:
Copers Cope

Address : 182A High Street Beckenham BR3 1EW

OS Grid Ref: E: 537221 N: 169412

Applicant : Mr William Rider

Objections : YES

Description of Development:

General refurbishment (including internal works), mechanical extract and the insulation and render to the external envelope of the entire building. Demolition of existing single storey WC block and erection of two storey extension; formation of new window openings and installation of new windows, doors and replacement fire escape staircase.

Key designations:

Areas of Archaeological Significance
Biggin Hill Safeguarding Birds
Biggin Hill Safeguarding Area
London City Airport Safeguarding
London City Airport Safeguarding Birds

Proposal

This application proposes general refurbishment (including internal works), mechanical extract and the insulation and render to the external envelope of the entire building. Demolition of an existing single storey WC block will facilitate the erection of a two storey extension; formation of new window openings are proposed with the installation of new windows, doors and replacement fire escape staircase.

A two storey extension is proposed to the south elevation; high level windows are shown to this flank at ground and first floor levels. The plans indicate the existing flank as a provisional location for four air handling units.

To the east (front) elevation windows are proposed at ground and first floor level; there are 3 existing windows to the first floor. The plans show proposed signage to this flank along with boxing to conceal a security shutter.

The existing west (rear) elevation has no windows; this application proposes windows to ground and first floor level. The existing fire escape is to be replaced. Revised plans indicate five high level windows to the first floor on this elevation.

The entire external envelope of the building will be insulated and rendered; the applicant has advised that this is with the view to upgrade and enhance its appearance, similar to the adjacent dance studio.

Location

The site is a large two storey building situated to the rear of High St, Beckenham within an area of Archaeological Significance. To its east and south sits the Primary Frontage to the High Street (with some residential above) and to its west sits residential property. The immediate vicinity to the north hosts 182B High Street, Beckenham which is now used as a dance studio (Use Class D2).

Comments from Local Residents

Nearby owners/occupiers were notified of the application and representations were received which can be summarised as follows:

- overlooking - no windows at present (previous planning refusal grounds)
- hours of use
- asbestos testing
- prohibit non-office activities over the weekends
- parking
- current boundary wall needs replacing - concern over short cuts potentially being taken from The Drive

Planning Considerations

The application falls to be determined in accordance with the NPPF, the London Plan and the following policies of the Unitary Development Plan

BE1 Design of New Development

SPG1

SPG2

Planning History

The planning history of the application site as a whole is extensive; of particular relevance is application ref. 81/01037 which granted planning permission for a two storey side extension for use as store and internal staircase, subject to conditions.

Condition ii of this permission states:

' the premises shall be used for an electrical goods warehouse and for no other purpose (including any other purpose in Class X of the schedule of the Town and Country Planning (Use Classes) Order 1972).'

NB: Class X - Use as a wholesale warehouse or repository for any purpose

The more recent planning history of the site includes refusals under refs. 11/02995 and 12/00896 for mixed use at the site including A3/A4 use.

An additional application has been received under ref. 13/04115, which is concerned with the use of the building.

Conclusions

The main issues relating to the application are the effect that the proposal would have on the character of the area and the impact that it would have on the amenities of the occupants of surrounding residential properties.

Given the relationship to surrounding development and the commercial nature of the site no planning concerns are raised in respect of the proposed insulation and render to the external envelope of the building.

No details have been submitted in respect of the proposed air-handling units and in the event of a planning permission relevant conditions should be applied.

It is noted that a separate application, ref. 13/04115, is considering the use of the site as B1/B8 without restriction to white goods. This application, ref. 13/04217, has been submitted for consideration of works to the building; due to the proposed increased floor area for office space a number of windows have been proposed and concerns are raised in this respect, particularly those to the first floor of the building. The planning history reveals that mixed use proposal including A3/A4 was refused at the site with a particular ground of refusal being 'The proposed development would give rise to an unacceptable degree of overlooking and loss of privacy and amenity to nearby occupiers thus contrary to Policy BE1 of the Unitary Development Plan'. There were additional considerations, relating to noise, with that application and the hours and type of use proposed which are not raised by the proposed office use. The introduction of windows to the first floor to both the west and east elevations give rise to planning concerns with overlooking. It may be considered that the revised plans showing a reduced number of windows to the west elevation and to be high level only may go some way to address these specific concerns relating to overlooking.

The windows to the east elevation address a more commercial environment but the relationship to residential flats over the shops will require careful consideration and in the event of a planning permission relevant conditions are proposed to safeguard neighbouring amenity.

The applicants are currently based in Beckenham and need to expand into larger premises. The application form indicates the site has 4 existing employees; the application form states the proposed use will provide 23 full time jobs and 4 part-time. A supporting statement submitted in relation to application ref. 13/04115 states 'There are approximately 50 employees of which 50% work on site and visit the office periodically for supplies and materials, therefore there will be approximately 25-30 people working in the building at any one time'. It is worth

noting that there are NPPF requirements of the need to support economic growth through the planning system.

In summary, the application site is an existing commercial site and it may be considered that the extent of the built development and alterations proposed by this scheme, subject to safeguarding conditions, are unlikely to have such a detrimental impact on the character of the area and nearby residential amenities as to warrant a planning ground of refusal.

Background papers referred to during production of this report comprise all correspondence on the file ref(s) set out in the Planning History section above, excluding exempt information.

as amended by documents received on 21.01.2014

RECOMMENDATION: PERMISSION

Subject to the following conditions:

- 1 ACA01 Commencement of development within 3 yrs
ACA01R A01 Reason 3 years
- 2 ACC07 Materials as set out in application
ACC07R Reason C07
- 3 ACI12 Obscure glazing (1 insert) to the west elevation
ACI12R I12 reason (1 insert) BE1
- 4 Details of obscure glazing to windows in the first floor east elevation are to be submitted to and approved in writing by or on behalf of the Local Planning Authority before development commences and the scheme shall be fully implemented before first occupation and shall be permanently maintained thereafter.

Reason: In order to comply with Policy BE1 of the Unitary Development Plan and in the interest of nearby residential amenity.

- 5 No windows or doors additional to those shown on the permitted drawing(s) shall at any time be inserted in any of the elevation(s) of the extension hereby permitted, without the prior approval in writing of the Local Planning Authority.

- 6 ACI17R I17 reason (1 insert) BE1
ACK01 Compliance with submitted plan
ACC01R Reason C01

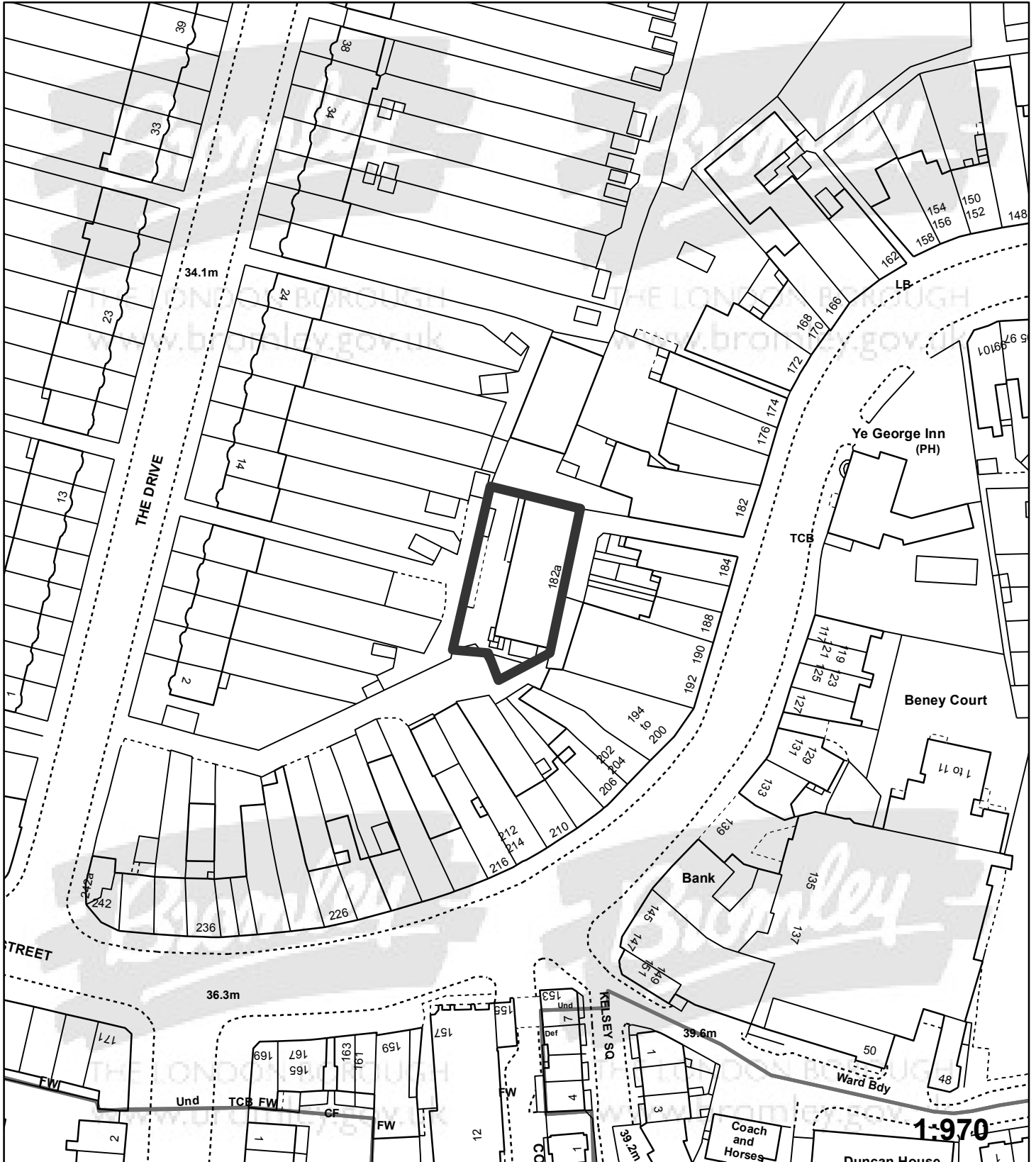
- 7 Details of the air handling units are to be submitted to and approved in writing by or on behalf of the Local Planning Authority before development commences and the scheme shall be fully implemented before first occupation and shall be permanently maintained thereafter.

Reason: In order to comply with Policy BE1 of the Unitary Development Plan.

Application:13/04217/FULL1

Address: 182A High Street Beckenham BR3 1EW

Proposal: General refurbishment (including internal works), mechanical extract and the insulation and render to the external envelope of the entire building. Demolition of existing single storey WC block and erection of two storey extension; formation of new window openings and installation of



"This plan is provided to identify the location of the site and should not be used to identify the extent of the application site"